

BK- 142 PG 886

HOUN STREET

N 62°00'45"E
46.50'

NE 131
CALHOUN ST.

SOUTH CAROLINA NATIONAL BANK
REF.: DEED BOOK "U-77", PAGE 166.

1-STY. BRICK

ASPHALT
PAVING

N 60°42'33"E

128.61'

BRICK WALL

BRICK PATIO

2-STY. W.F.

3-STY. BRICK

NO 313

PORCH

PORCH

1 1/2 STY KITCHEN

A/C UNITS

FISH POND

AQUARIUM

NO 311

CONCRETE WALKS

FOUNTAIN

STAIRWELL

A/C UNITS

A/C UNITS

FACE OF CURB

MEETING STREET

328

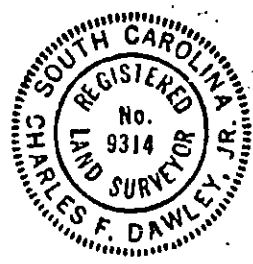
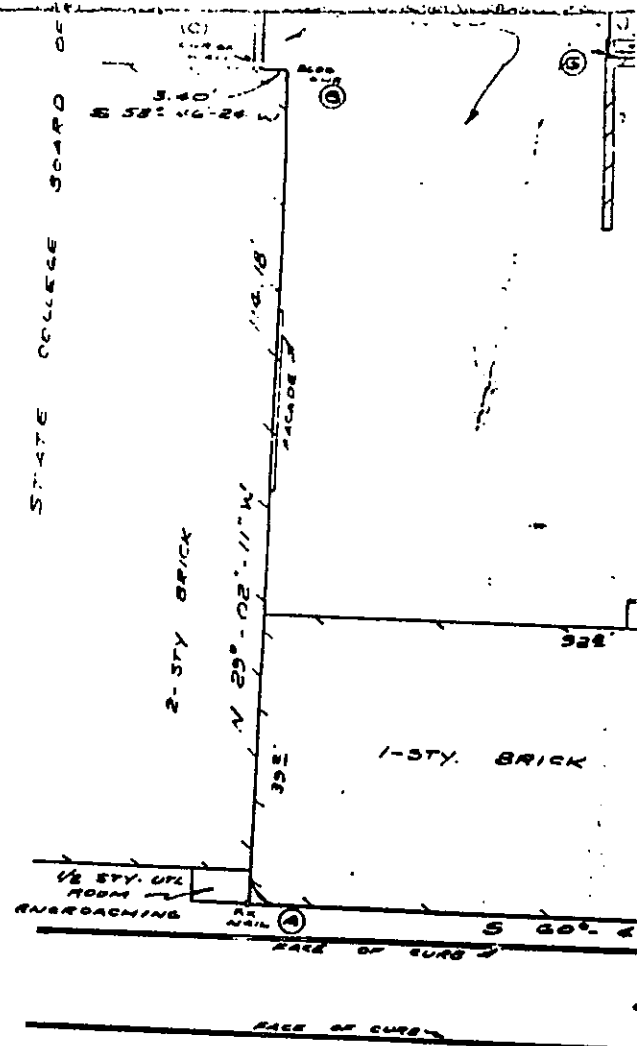
S 23°56'04"E
76.65'

10'-E

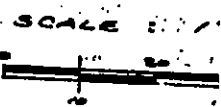
752'

NOTES :

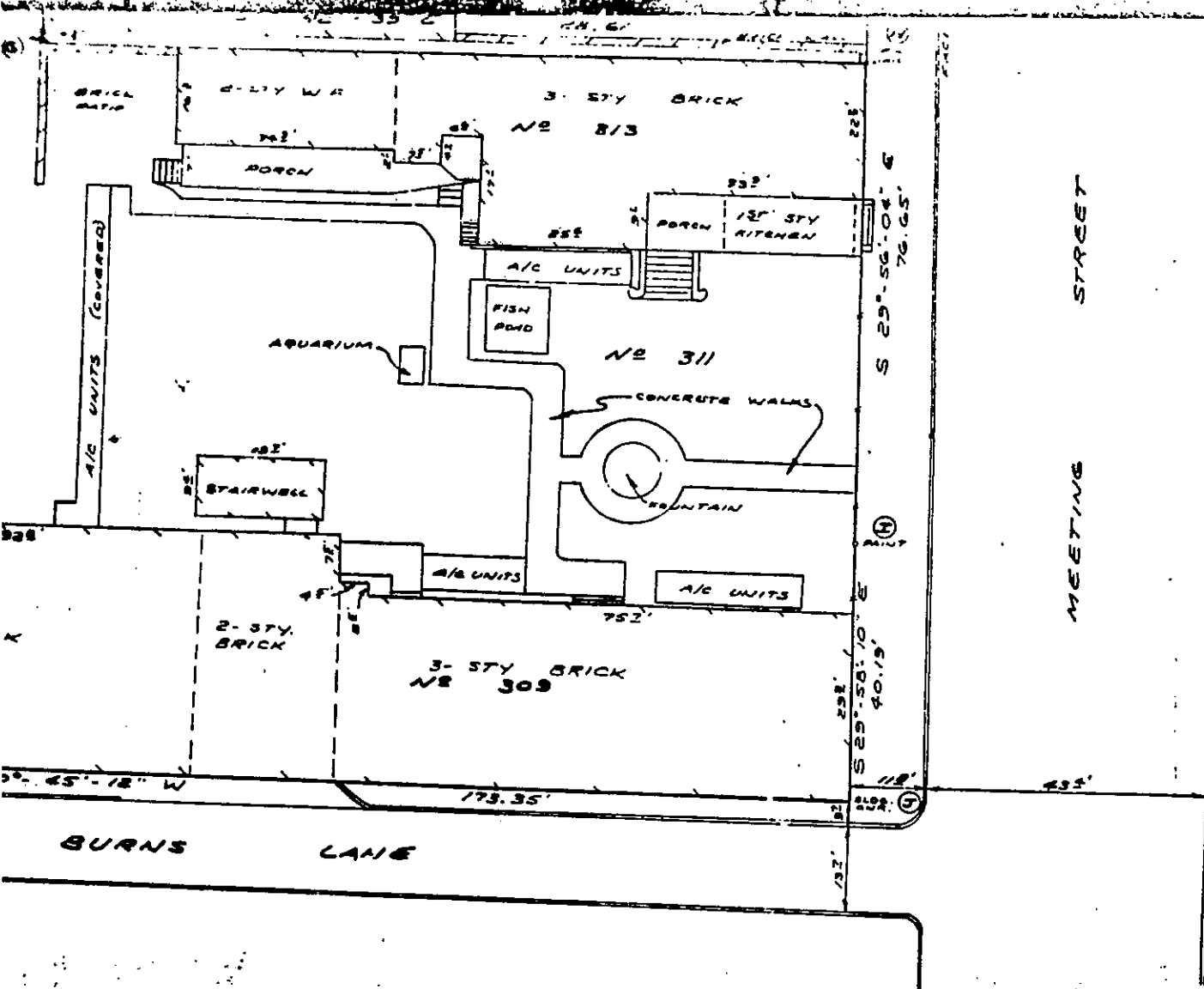
- 1) BUILDING EAVES AND PROTRUSIONS OF THIS PROPERTY ENCRACH ONTO STREETS AND ADJACENT PROPERTIES, AND BUILDING EAVES AND PROTRUSIONS OF ADJACENT PROPERTIES ENCRACH ONTO THIS PROPERTY.
- 2) REFERENCE PLAT BY JOEL P. PARKER, DATED OCT. 18, 1883, AND RECORDED IN PLAT BOOK "AY", PAGE 166.
- 3) AREA = 0.572 ACRES.



SHOWING
NE 311, AN
AS SHOWN
CHARLESTON
PRESENTLY
A GEORGIA



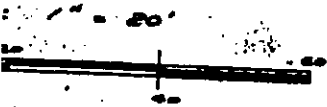
I hereby certify that the ratio of precision of the Field Survey is 1/1000 as shown hereon and the area was determined by coordinate method of area calculation.
C. F. Dawley, Jr. 12 2314



PLAT

NO. 131 CALHOUN STREET AND NO. 309,
 AND NO. 313 MEETING STREET, SITUATE
 OWN IN THE CITY OF CHARLESTON,
 STON COUNTY, SOUTH CAROLINA,
 FULLY OWNED BY: MEETING STREET PARTNERS, LTD.,
 A LIMITED PARTNERSHIP.

DECEMBER 24, 1984



Charles E. Gawley, Jr.
 CHARLES E. GAWLEY, JR.
 P.L.S. NO. 324

EXHIBIT "B"-SURVEY
 (MASTER DEED FOR MEETING
 STREET CONDOMINIUM H.P.R.)

MEETING STREET COI HORIZONTAL PROPERT

Plot Plan, Floor Plans, and Elevations,
Dimensions, Area, and Location of Each Unit. (A
Meeting Street Condominium Horizontal Property R
Location of the Common Elements Affording Ac
Unit.

The undersigned, Joseph G. Gardner, Jr., a
authorized and licensed in the State of Sou
pursuant to South Carolina Code Annotated Secti
(1976) as Amended, hereby certifies that the R
described in the attached sheets 1 through 14.
accurately, within reasonable construction tolera
the layout and dimensions of the Regime, the comm
and the apartments shown therein.

Joseph G. Gardner, Jr. _____

CONDOMINIUM PROPERTY REGIME

ations, Showing the
h Unit (Apartment) in
roperty Regime and the
ording Access to Each

, Jr., an Architect
e of South Carolina
ted Section 27-31-110
hat the Regime plans
hrough 14 fully and
on tolerances, depict
the common elements,

Revisions

Date	Description	Symbol
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309 & 313 MEETING STREET
CHARLESTON, SOUTH CAROLINA

MEETING STREET PARTNERS, LTD.

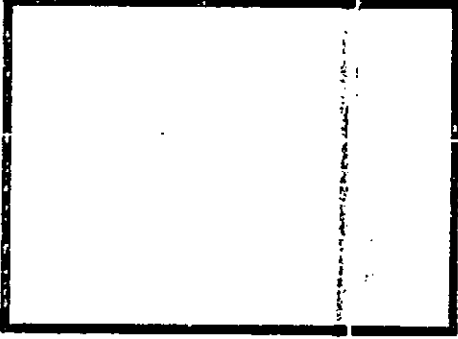
authorized and licensed in the state of South Carolina pursuant to South Carolina Code Annotated Section 27-31-110 (1976) as Amended, hereby certifies that the Regime plans described in the attached sheets 1 through 14 fully and accurately, within reasonable construction tolerances, depict the layout and dimensions of the Regime, the common elements, and the apartments shown therein.

Joseph G. Gardner, Jr.

Joseph G. Gardner, Jr. South Carolina Architect License No. 2848

309 & 313 MEETING
CHARLESTON, SC

MEETING STREET



GARDNER
SPENCER
ASSOCIATES

A Professional Corporation for the Practice of Architecture
2065 Avenida de las Americas, Suite 201 Atlanta, Georgia 30309-4044

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Sheet Title
cover
sheet

Project No
83101

Sheet No

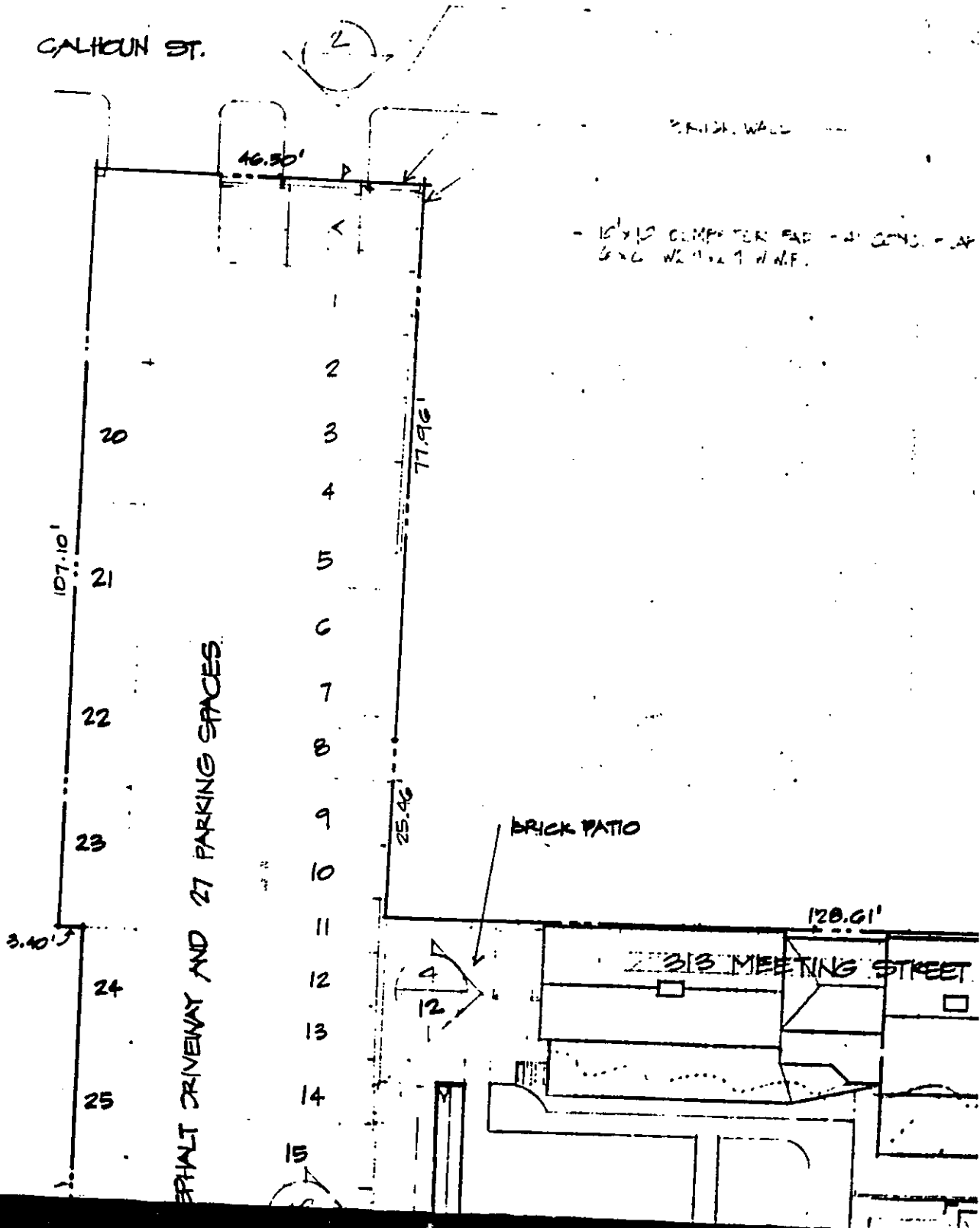
Issue Date
12/25/84

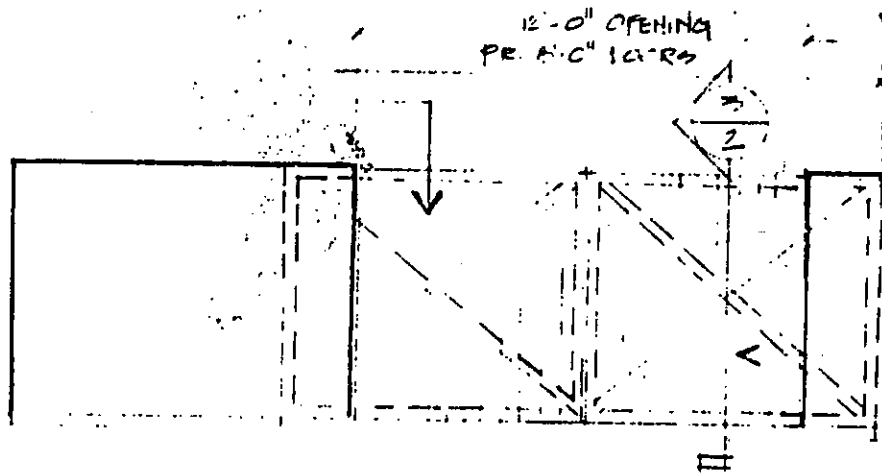
EXHIBIT "C"-ARCHITECT
CERTIFICATE, PLOT PLAN,
FLOOR PLAN, ELEVATION
PLAN, FINISH SCHEDULE
(MASTER DEFN FOR MEETING
STREET CONDOMINIUMS H.P.R.)

Not Released For Construction

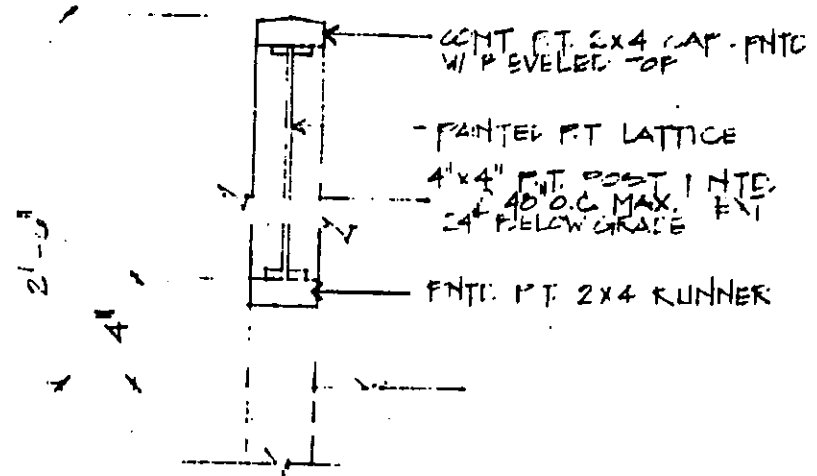
Document Continues
Use Manual Search

CALHOUN ST.

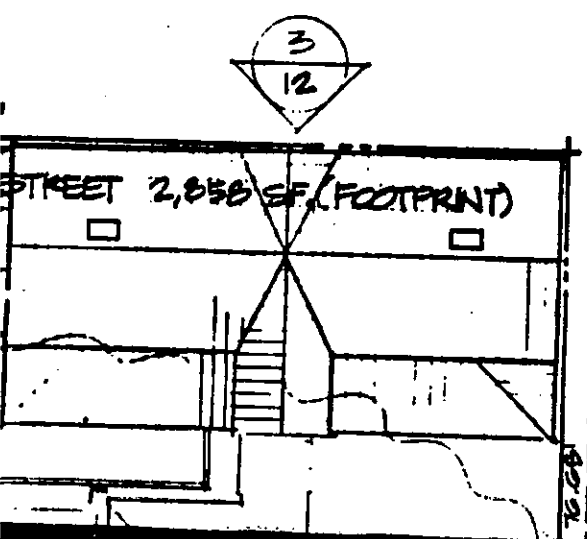




2 DUMPSTER GATE ELEVATION
1/4" = 1'-0"



4 WINDOW UNIT SCREEN
1/2" = 1'-0"



W. ST. 200'

REMOVE STEEL FROM
 FULL LENGTH OF OPENING
 GATE ATTACH TO EXISTING
 BRICK WALL

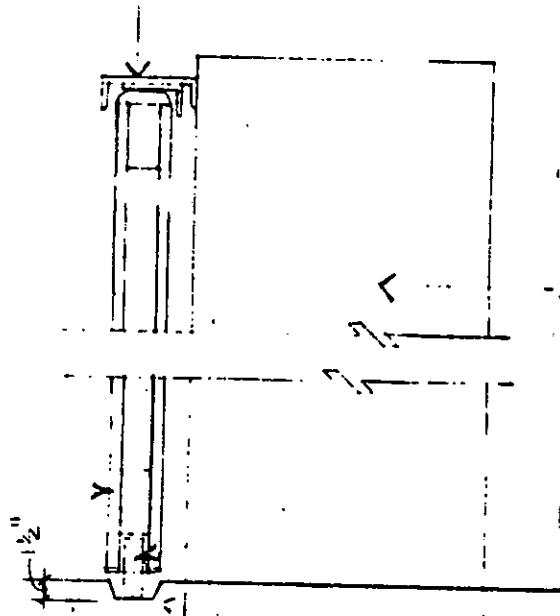
FROM EXISTING OPENING

REFORM BRICK
 - JAMB TO ACHIEVE EVEN
 EDGE

- EXISTING BRICK WALL

WOOD GATE - 2x4 FRAMING
 - MEMBERS W/ VERT. GRINDING
 - PAINTED ALL WOOD TO BE FT
 & PAINTED

INSTALL BOTTOM RAIL &
 PROVIDE 2" METAL WHEELS
 2 PER DOOR



- KEYWAY EXTEND 2" FROM
 EX. BRICK OPENING

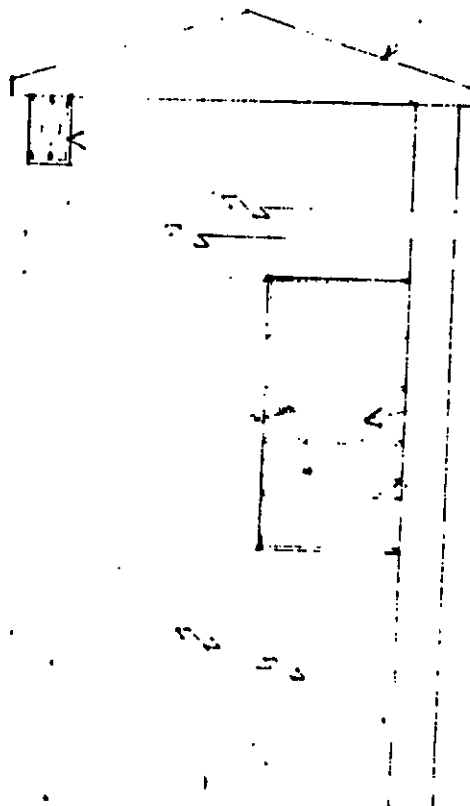


GATE DETAIL
 1/2" = 1'-0"

- SCRUB & CLEAN & REPAINT
 EXISTING WALL

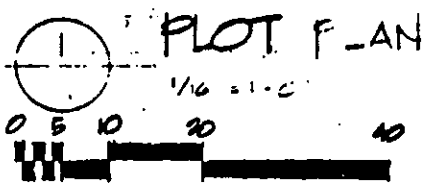
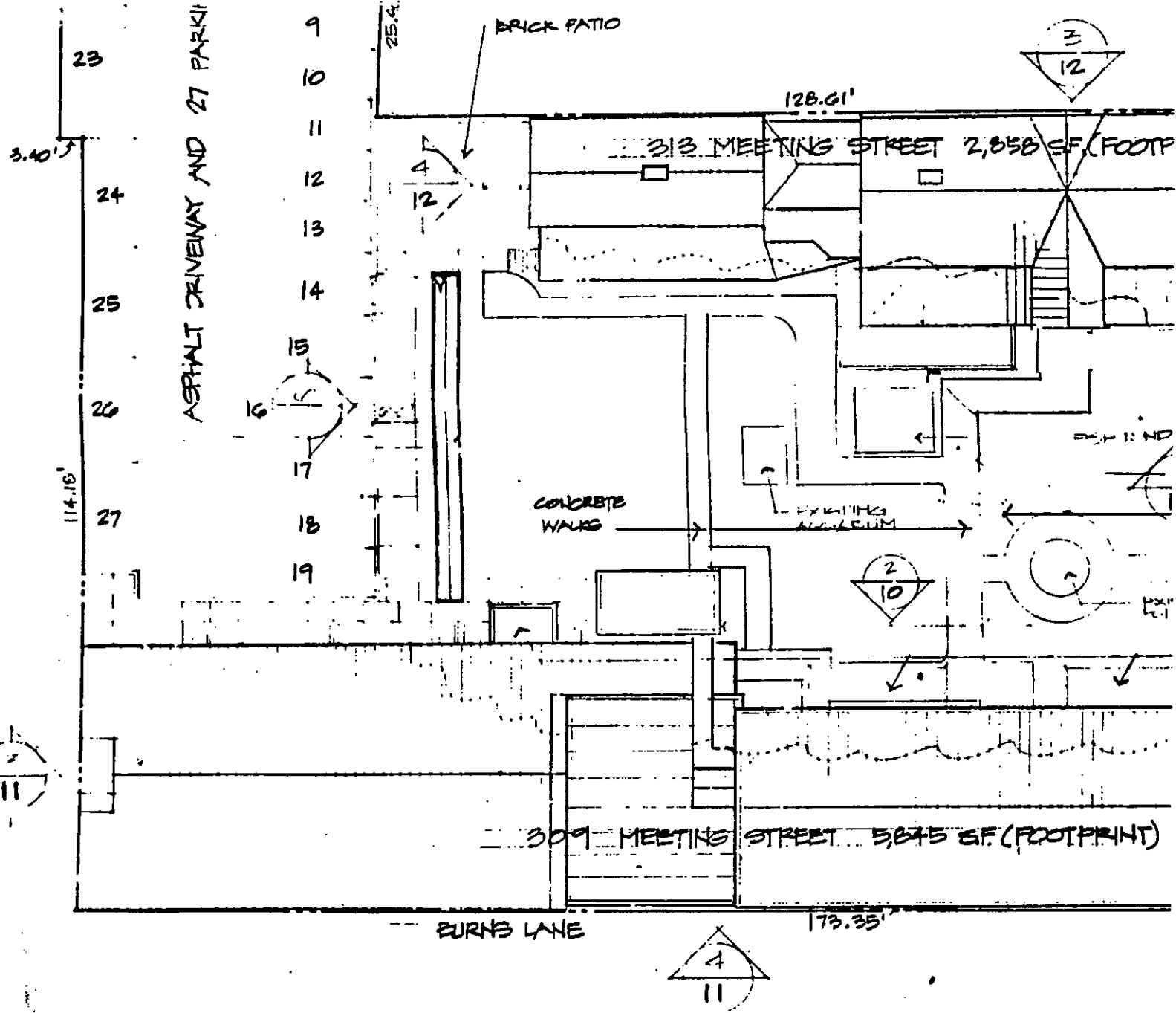
- PROVIDE 2'-0" WIDE OPENING
 IN PARKING SIDE AND 2'-0" W
 OPENING ON COURTYARD
 FINISH TO MATCH EXISTING
 COORDINATE LOCATION W/
 SIDEWALK ON COURTYARD

- NAIL PANELS - PUNCH HOLES
 TO EXISTING BRICK ADJACENT
 TO OPENING

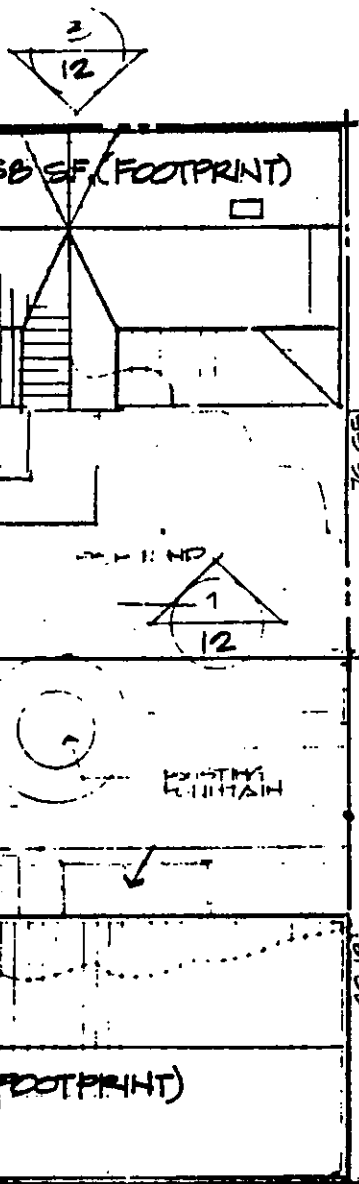


8'-0" MAX.

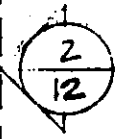
2'-0" MAX.



DIMENSIONS FROM SURVEY BY CHAS. F. DANLEY, JR. 12/24/84



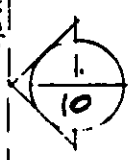
(1) SCREEN



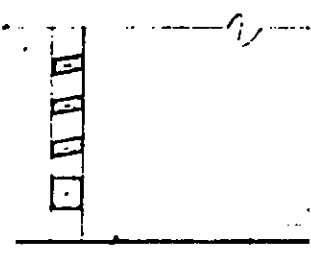
TYPICAL SCREEN (2)

COURTYARD

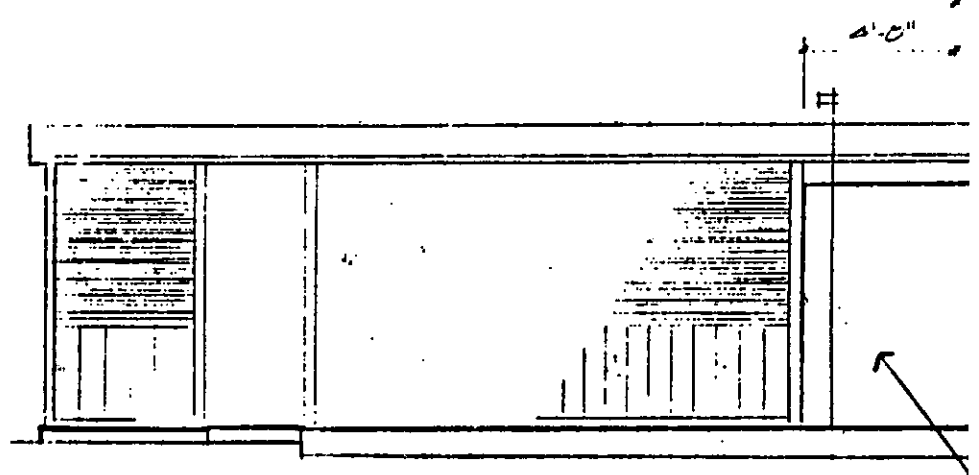
STAR TOWER
... .. SCREEN
AND CONDENSING UNITS ON
CONCRETE PADS



MEETING ST.



(7) SECTION
SCALE: 3/4"

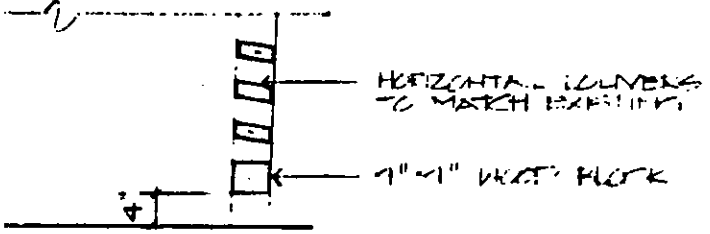


(6) SHEP ELEV (@ PARKING LOT)
SCALE: 1/4" = 1'-0"

104

EXISTING ROOFING TO OPENING

B
SECTION THROUGH THE WALLS
2'-0" WIDE

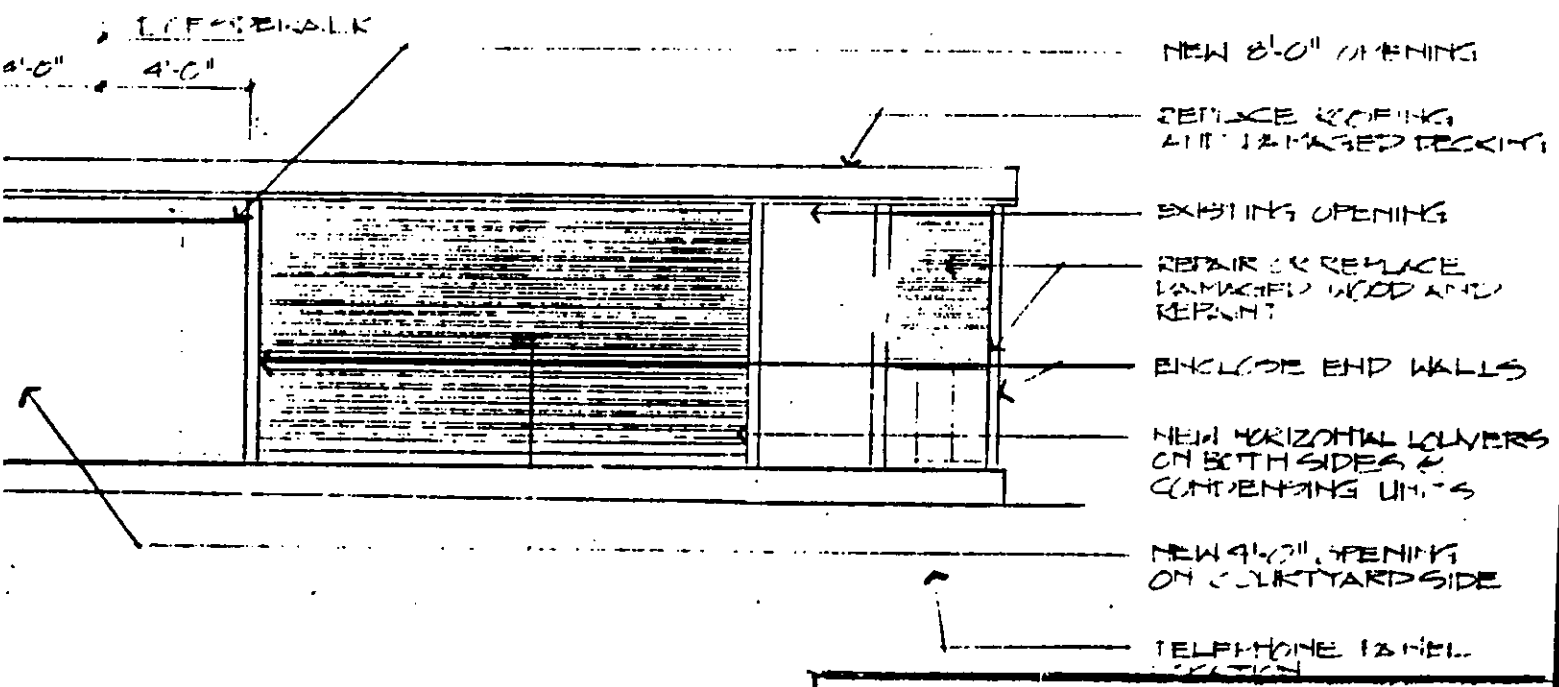


HORIZONTAL LOUVERS TO MATCH EXISTING

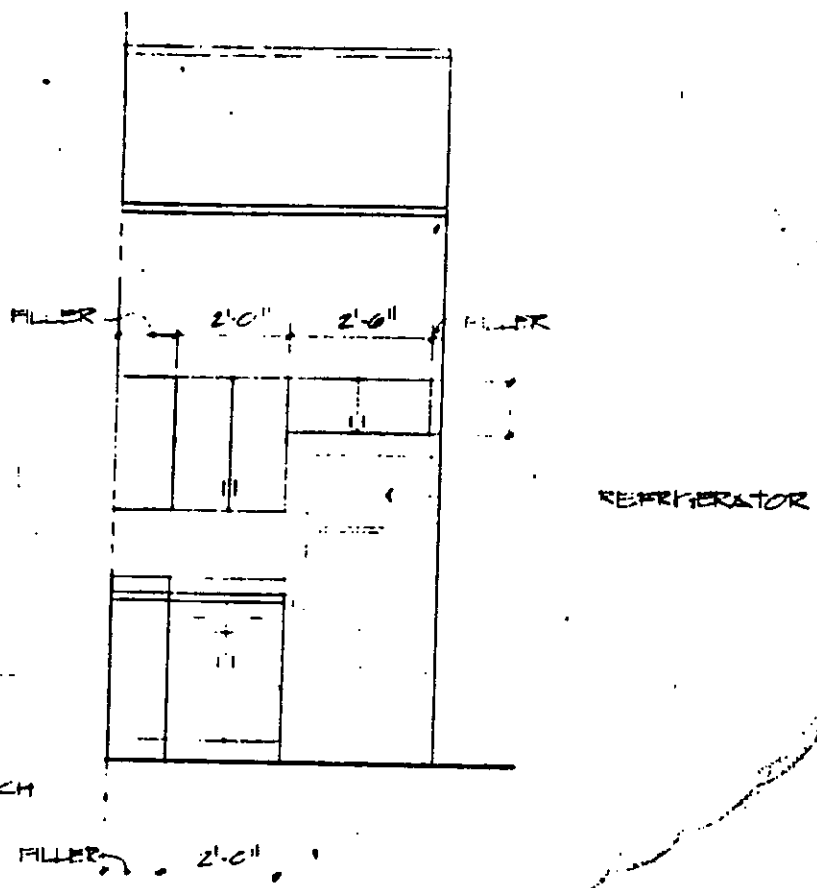
7'-4" WIDE BLOCK

SECTION AT LOUVERS

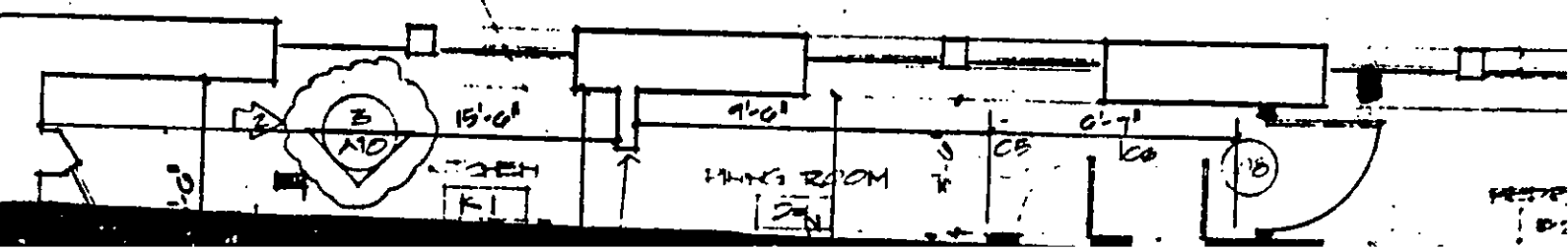
SCALE: 3/4" = 1'-0"

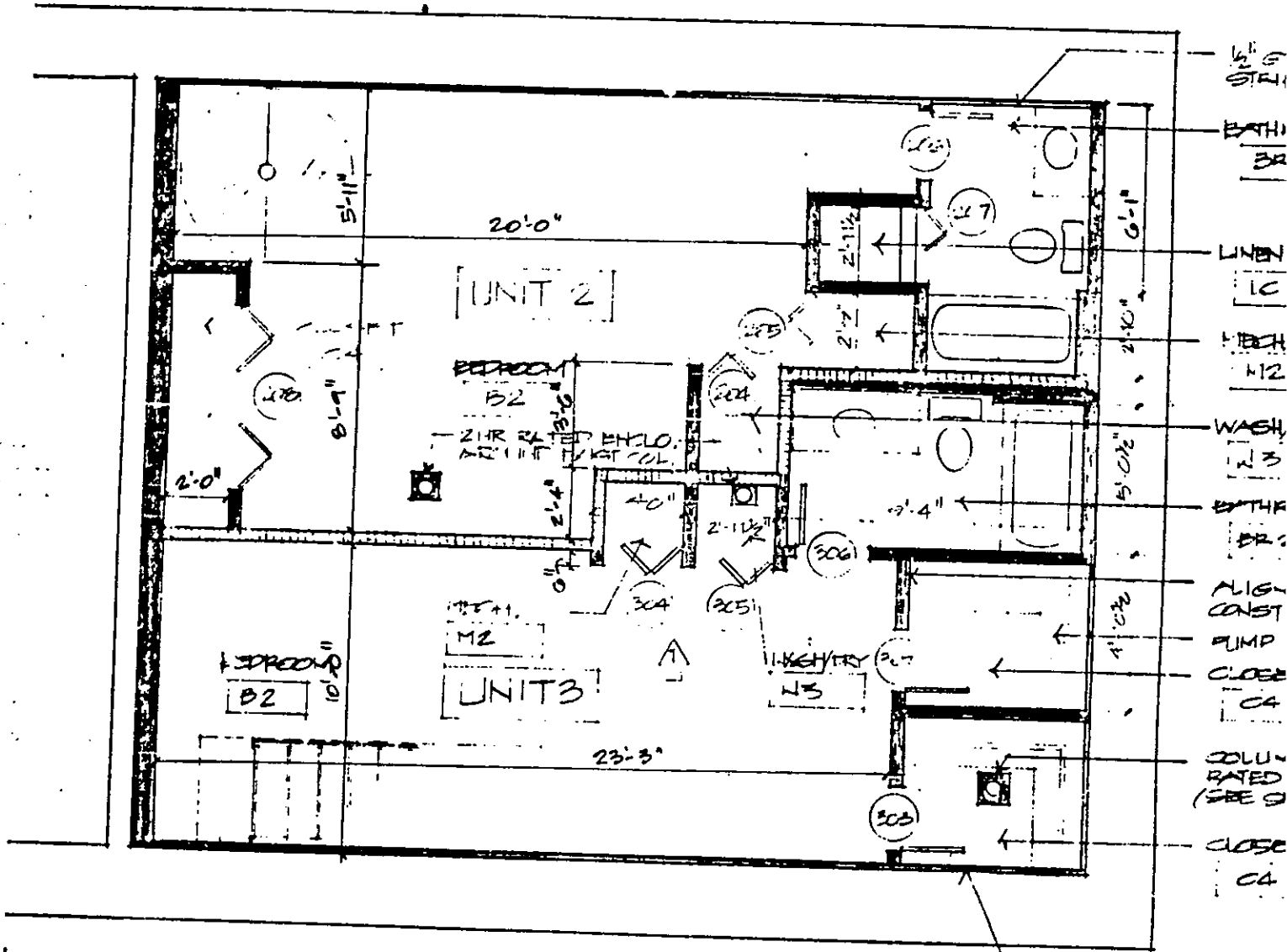


SHT. 1 12/20/34



TRIM CUT AS REQ'D TO MATCH EXISTING CABINETS

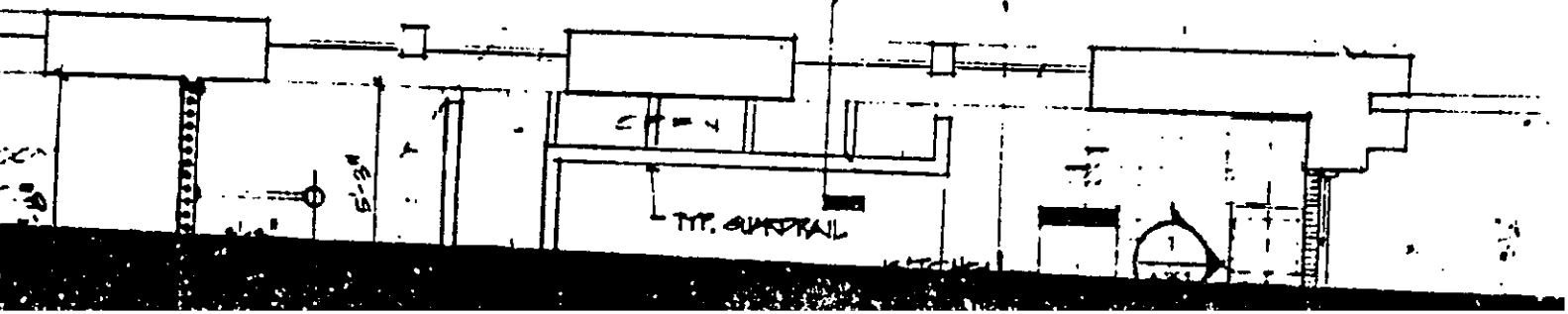
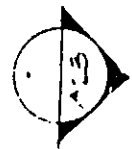


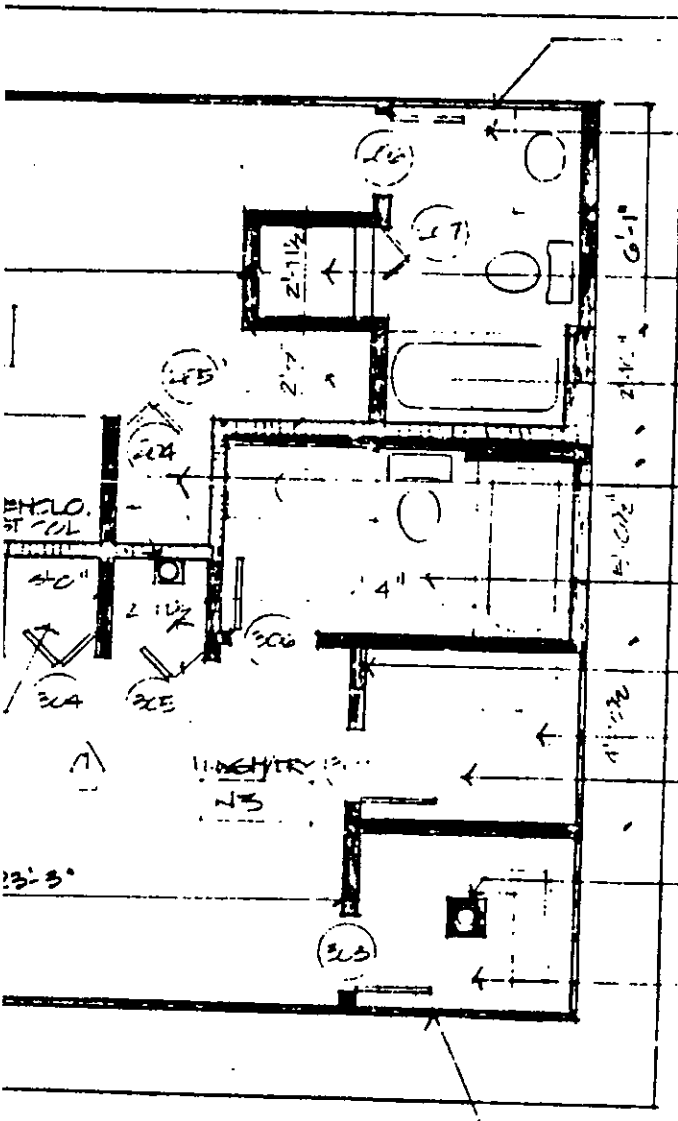


2
NO BASEMENT, 309 MEETING STREET

NOTE 4: 1 PROVIDE 2HR CEILING IN UNIT 3 AT MECH. CLOSET, WASH. TRY AND BATHROOM

LEAN & REPAIR STAIRS
4'-5"

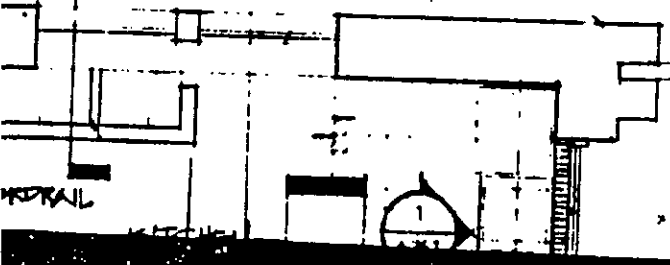




- 1/2" STYPED ON HIRING STRIPS @ 6" O.C. (TP.)
- BATHROOM (2 1/2 A20)
BR 2
- LINEN CLOSET W/ PUMP BELOW
LC1
- MECHANICAL
M2
- WASH/DRY
W3
- BATHROOM (2 1/2 A10)
BR 2
- ALIGN WALL WITH CONSTRUCTION ABOVE
- PUMP LOCATION
- CLOSET
C4
- COLUMN W/ 2 HR RATED ENCLOSURE (SEE SHIT A26)
- CLOSET
C4
- 1/2" STYPED ON HIRING STRIPS @ 6" O.C.

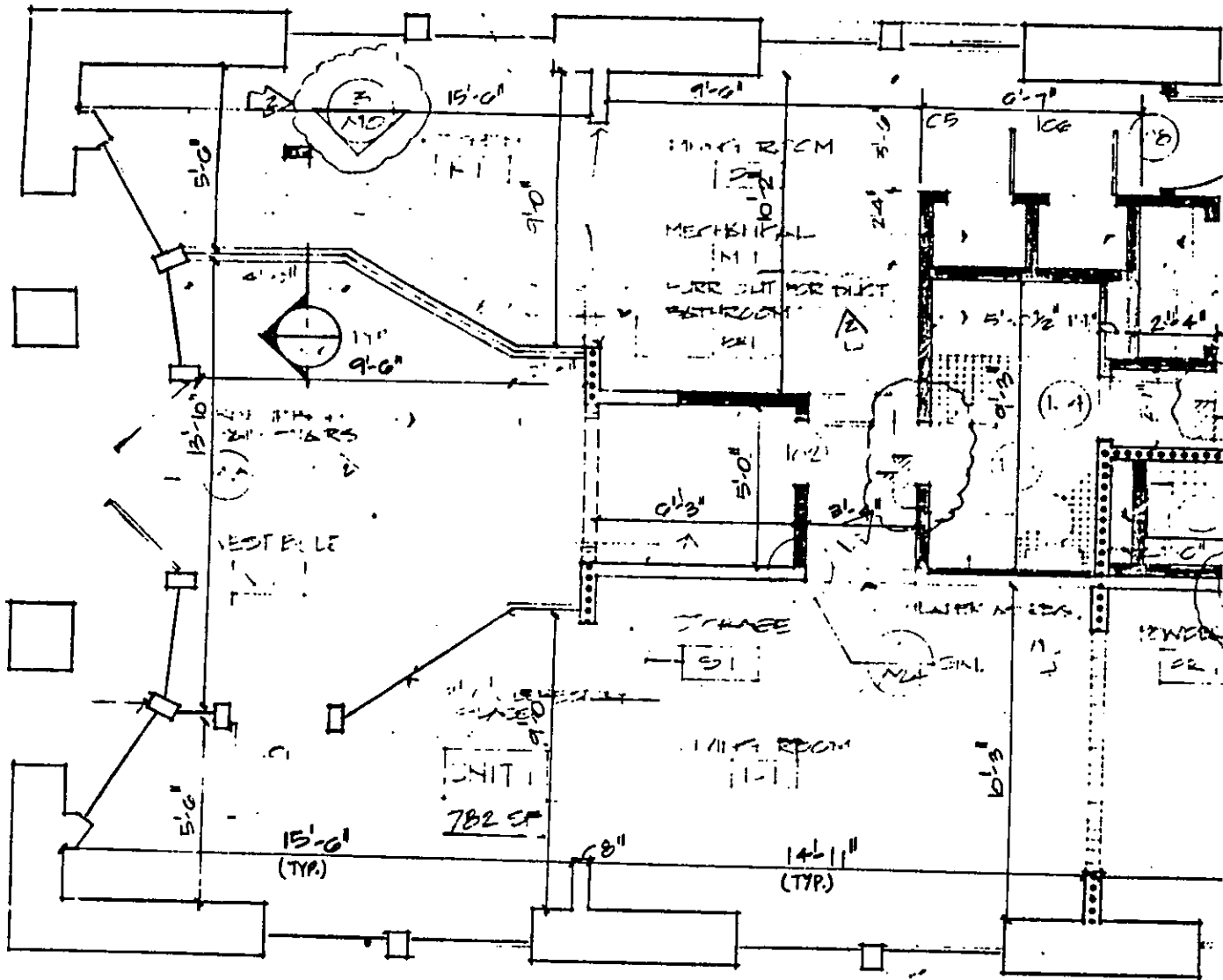
TING STREET

MIT 3
AND



TRAIL

FINISH FLOOR TO MATCH
EXISTING FLOOR



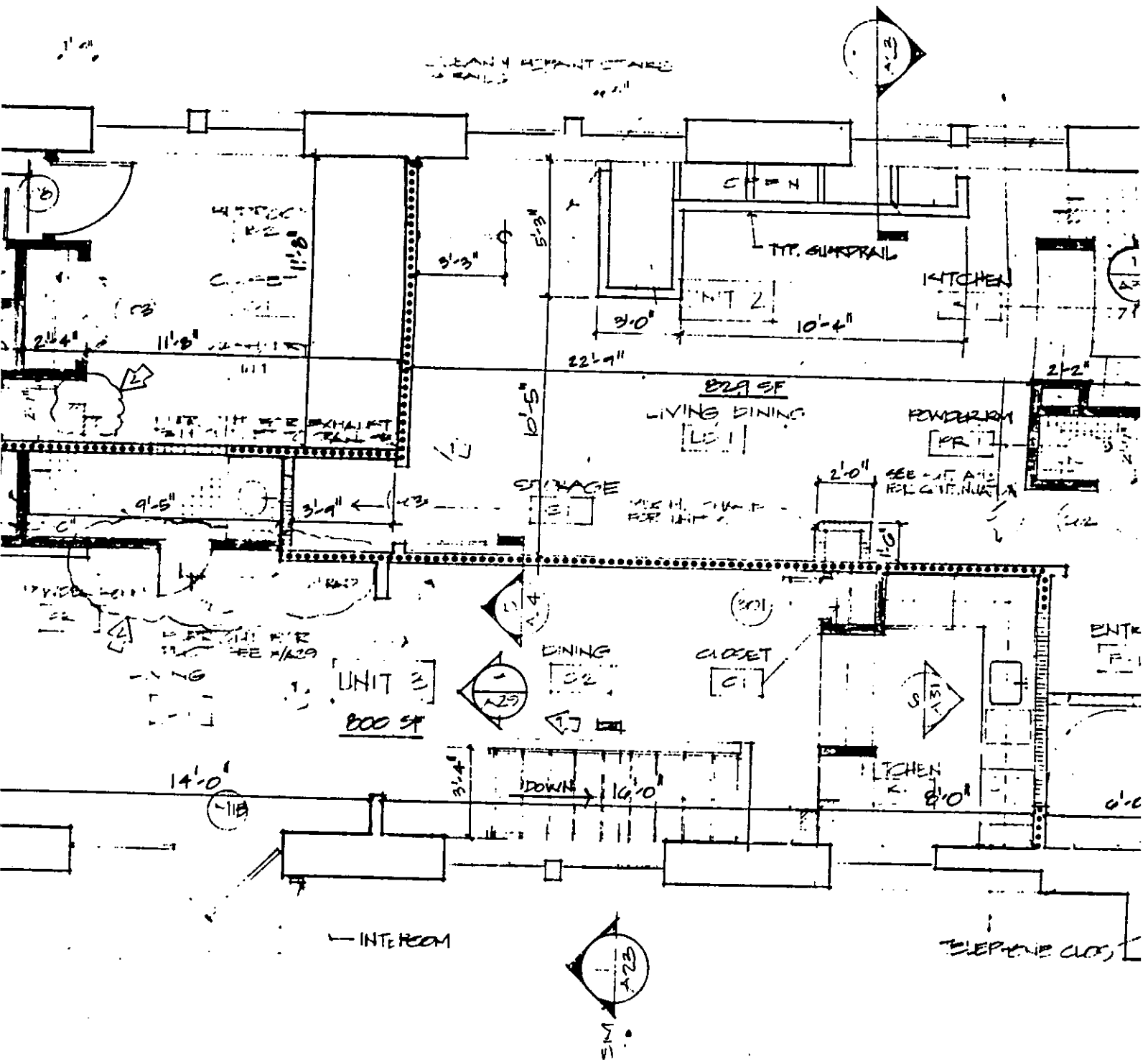
1
A/C
FINISH FLOOR 309 MEETING STREET

- 1. TRIP CLINET DETAILS SEE 7/16/2
- 2. FOR LINEN CLOSET DETAILS SEE 6/16/2
- 3. REPLACE POLISHED WALL
- 4. CAR THRESHOLDS

PLAN APARTMENT 309 MEETING STREET

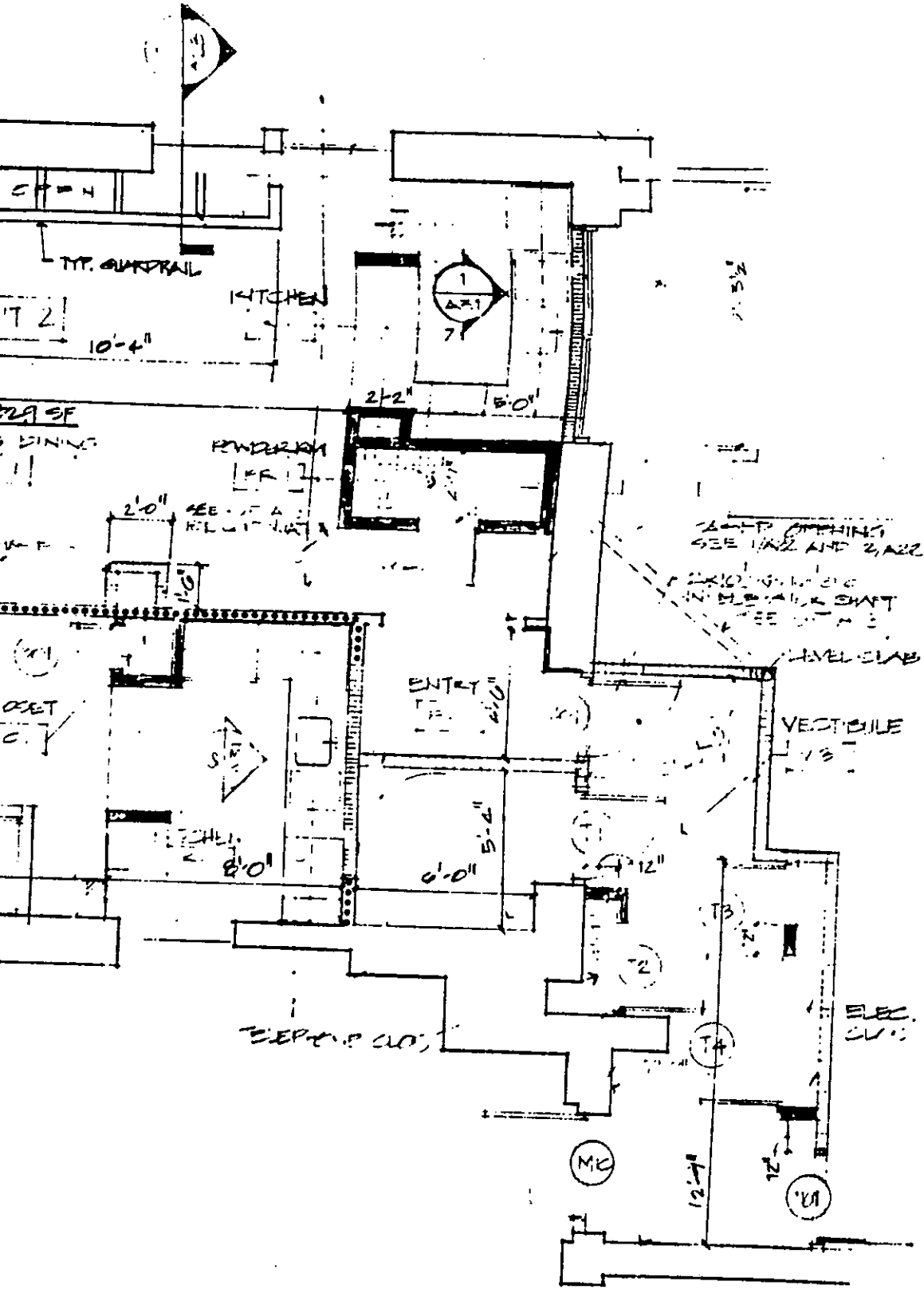
UNIT 1: KITCHEN, BATH, WASHING AND BEDROOM

CLEAN REPAINT STAIRS



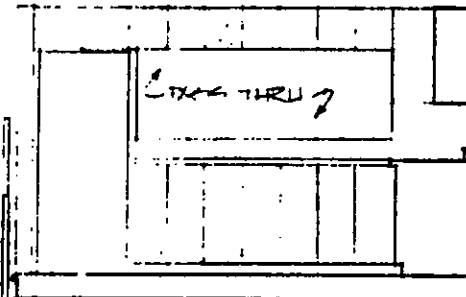
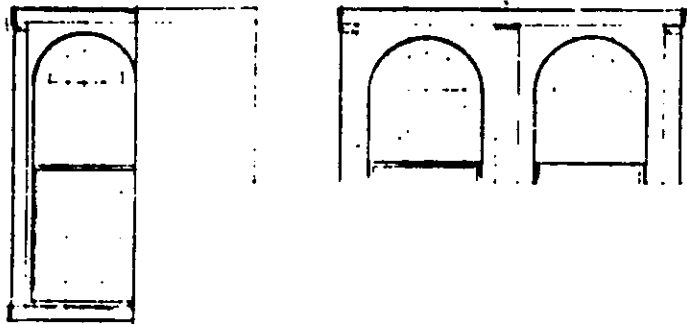
29 MEETING STREET

12/20/84



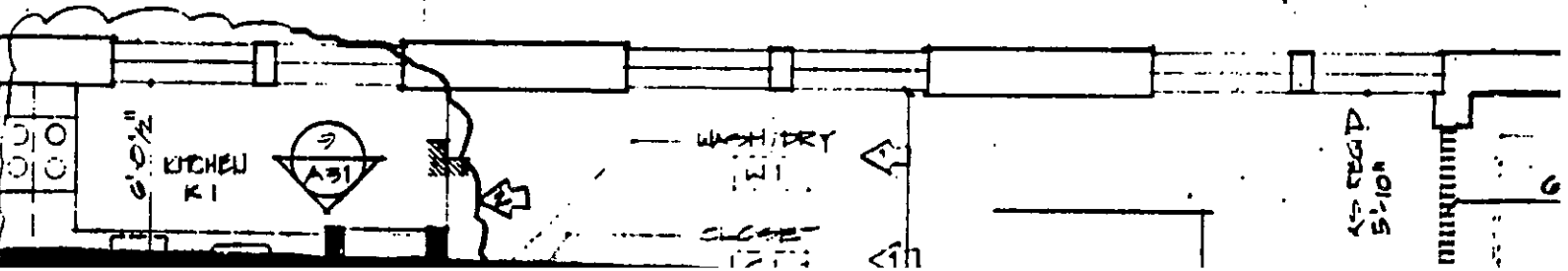
SHT. 1 12/20/84

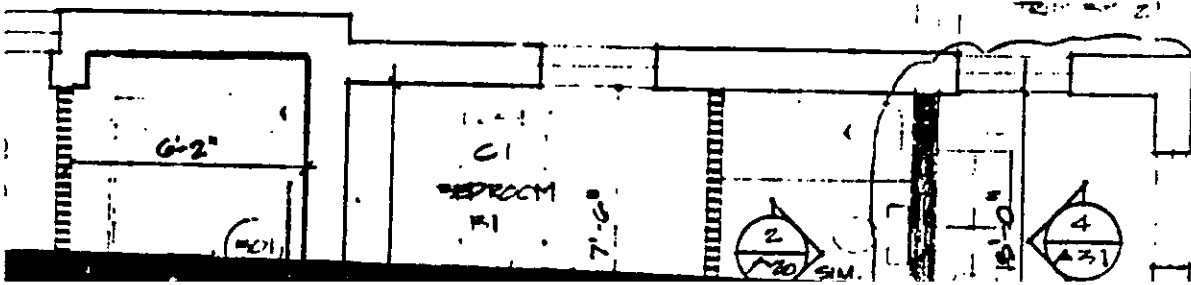
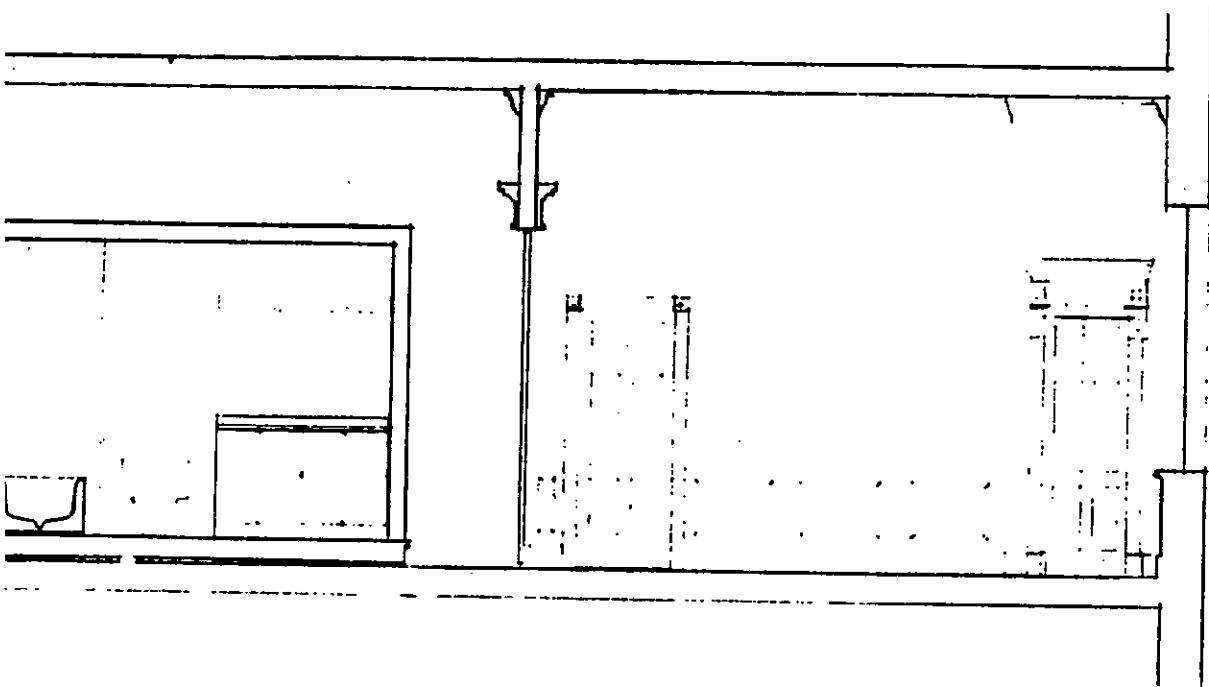
BKH 142PG890



- 309 MEETING STREET

11'-9"





ALL DIMENSIONS
 UNLESS OTHERWISE
 SPECIFIED ARE IN
 FEET AND INCHES

SECTION
 22